

STEP-BY-STEP GUIDE TO BUILDING A MODULAR HOUSE

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Build a Beautiful New Home In 9 Simple Steps

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PRELIMINARY PHASE



Atlas Steel - PNG

STEP 1

Consultation & Advice

The first step is to contact our team, by phoning the office, submitting an online enquiry, or if possible, visiting one of our display centres. We'll discuss your design ideas, and requirements, and suggest some potential designs that would be a good fit.

If a custom design is more suitable, we'll discuss possible layouts and siting. From this, our team will have a good understanding of your needs and priorities when it comes to designs, timing and your budget. We'll also perform a desktop assessment of your site, to be sure it's suitable for a modular home. If needed, we'll visit the site in person to get the information we need.

☐ **COST: Complimentary**

☐ **TIME: 30 mins – 1 hour**





STEP 2

Project Proposal

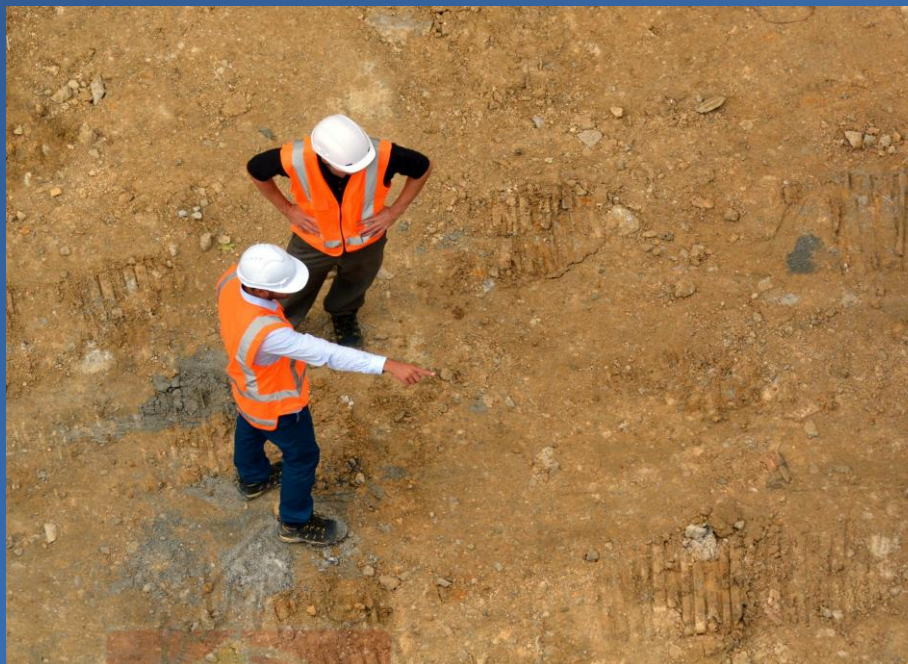
Our Team will create a detailed brief based on the initial discussion, and will prepare a Project Proposal that outlines the estimated costs for your project; including construction of your chosen design, additional options and upgrades, and pre-construction fees. We'll do our best to be as detailed as possible, however at this stage some items may remain provisional, subject to site engineering reports, structural engineering and project specifications.

☐ **COST: Complimentary**

☐ **TIME: 48 hours**

PRE – CONSTRUCTION PHASE





STEP 3

Design & Site Engineering

Here, your project will now be managed by our Buildings & Engineering Team Leader who will be with you to tick off all the boxes needed to get your design ready and approved for construction.

First, a detailed design brief will be prepared and our team will start drafting your Preliminary Drawings. We can help make sure the required surveys and site assessments are complete, and the details are added to your drawings for reports, to then be compiled, ready for submission to NCDC.

☐ **Complimentary**

☐ **TIME: 1 – 2 weeks**

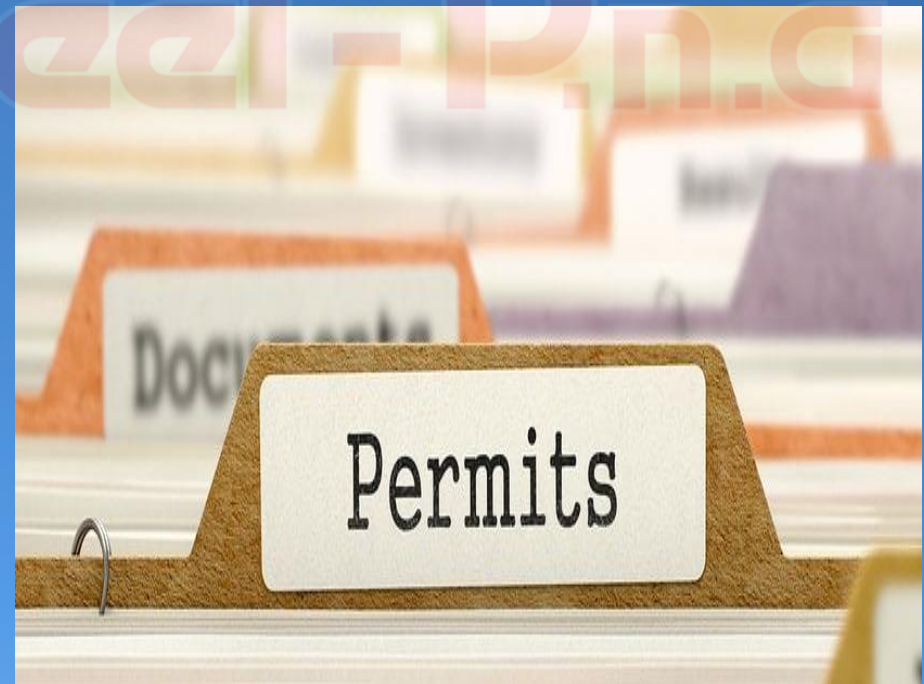
STEP 4

NCDC, Water and Power Permits

If you require a planning permit, we can take care of this for you, including any supplementary reports that need to accompany the application. Depending on your location and the features of your block, this may include a Land Capability and Risk Assessments.

❑ **COST: K3,000 – K8,000**

❑ **TIME: 12-24 weeks approximately**





STEP 5

Specification Selection & Documentation

While your planning application is processing, it's time to make your colour and specifications selections. You'll meet with our designer who can make recommendations on the best options for your style and budget to help you bring it all together. From there, we'll prepare a detailed schedule, and once approved, our designers will draft the full Construction Drawings and obtain structural engineering (if required).



- ❑ **COST: Nil. Included in Pre-Construction Fee**
- ❑ **TIME: 1 – 2 weeks**

CONSTRUCTION PHASE



STEP 6

Building Permit

Before building can begin and before your bank will pay us, you'll need a Building Permit.

Our team will arrange this.

A building permit is an official approval to construct a new building, or expand or remodel an existing one. Its purpose is to ensure that the construction project follows all relevant regulations, including building standards, land use, and environmental protection.

The requirements and standards vary from location to location, so you can talk to us before you start any construction.

❑ **COST: Nil. Included in Step 6**

❑ **TIME: 4 – 6 weeks**





STEP 7 Construction

We've now reached the exciting part where construction commences on your new home. Throughout the build your Project Manager will keep you up to date on the progress and you are welcome to visit to check in and see your new home coming together. There are three main stages of the build as follows:

Frame Stage: First, we fabricate the steel base frame, plus any other steel components in the wall and roof. Our carpenters will then install the particle board flooring, build the timber wall and roof structure and brace the frame ready for the lock-up stage.

Lock-up Stage: The roofing, guttering, external cladding, windows and doors are installed, and decking is installed onto prefabricated steel frames. Our electrical and plumbing contractors will run their wiring too, ready for the fixing stage.

- **Fixing stage:** The plastering team install the plaster and cornice, and the carpenters fit the architraves, skirtings and internal doors. The cabinet makers install the cabinetry including the kitchen, laundry cupboards, wardrobe shelving and vanities. Tilers lay and grout the tiles, plumbers install baths, sinks and other installations, and electricians fit-off light switches, powerpoints and light fixtures. Lastly, the flooring is installed, and your home is ready for delivery.

A few weeks before your home is delivered, our site team will complete all of the site preparation work, including excavation, foundations and retaining walls, so your site is ready for installation on delivery day.

❑ **Cost:**

50% - Construction Start

30% - Delivery To Site

**20% - Hand Over & Issue of Occupancy
Certificate**

❑ **Time: 8 – 10 weeks**





STEP 8

Delivery, Installation & Site Fit-off

Your home will travel in modules carried by truck to your site, and delivery can take 1–3 days depending on your location. Once your home arrives, it is re-assembled within one day. The site team then complete the finishing touches, including plastering and painting, installation of the sub-floor cladding, commission of the electrical and plumbing infrastructure, stairs and balustrade, connection to services, and construction of the garage or carport (if included).



□ **TIME: 1 – 4 weeks**

STEP 9 Handover

With the site works complete, it's time to inspect your new home with the Site Supervisor. The Building Surveyor will also complete a final inspection, before issuing a Certificate of Occupancy.

Building a new home doesn't have to be difficult or take an eternity. When you choose to build with us, our team will guide you through the process step-by-step, keeping your project on time and on budget.

So if you're ready to find out more, take the first step and get in touch with our team today!



CALL US TODAY OR COME IN AND SEE US

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